

If you are interested in applying for conditional use permit to allow an activity or use on your property, here are answers to commonly asked questions regarding the process.

This guide is intended to be general in nature and should not be considered the final or definitive authority on any of the matters it addresses.

If you have questions or would like more information about the process of obtaining conditional use permit approval, please contact:

**City of Faribault
Planning & Zoning Division
208 NW 1st Avenue
Faribault, MN 55021
(507)334-2222**

Q What is a conditional use?

A A conditional use is a land use which, because of its unique characteristics and potential impact on surrounding properties, cannot be permitted at a given location without special consideration and review by the City Council.

Q What makes it a “conditional” use?

A The City Council, in approving a request for conditional use permit, is authorized to establish specific standards and requirements to ensure compatibility with surrounding land uses and to reduce the potential for negative impacts from the proposed land use.

Q How do I go about getting a conditional use permit?

A The process of getting a conditional use permit involves 4 steps as follows:

- (1) Submittal of application, support information, and payment of necessary fee
- (2) Staff review of support information and follow up with applicant as needed
- (3) Public hearing held by Planning Commission to receive comment from the applicant as well as other interested parties; Recommendation is forwarded to the City Council for action
- (4) City Council decision on the conditional use permit after a public hearing

Q What types of factors must the City Council take into account before granting a conditional use permit?

- A**
- Whether the use will be detrimental to the public health, safety, or general welfare.
 - Whether the use will be injurious to the use of other property in the vicinity or impede the development of surrounding property.
 - Whether the use will be compatible in appearance with the existing or intended character of the surrounding area.
 - Whether the use will lead to disturbing influences on neighboring properties.
 - Whether the use will have a substantial negative impact on the value of neighboring properties.
 - Whether the site is served adequately by essential public facilities and services.
 - Whether measures have been taken to minimize traffic congestion and to provide for adequate on-site circulation of traffic.
 - Whether the use will result in the destruction or loss, of a

natural, scenic, or historic feature of major importance to the community.

- Other considerations, as deemed necessary.

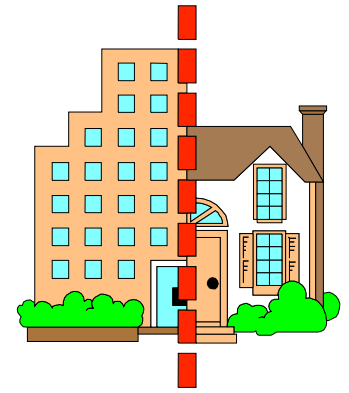
Q *What is my role as a property owner to get a conditional use permit approved?*

A It is the responsibility of the applicant to demonstrate that the required findings, as listed previously, are satisfied. While staff will provide technical assistance and information, the burden of convincing the City Council of the merits of the request rests solely upon the applicant.

Q *Once a conditional use is approved, how long is it good for?*

A Upon approval of a conditional use permit, the property owner has 1 year to initiate the proposed project. If such work is not complete, and no extension request has been made at least 30 days prior to the expiration date, the conditional use permit will become null and void.

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A General Guide For
Property Owners

CONDITIONAL USE PERMITS



Planning and Zoning
Division