

Garages and Other Accessory Structures INCLUDES 2007 CODE CHANGES!

Building permits must be obtained by an owner or authorized agent who intends to construct, enlarge, alter, repair, move or demolish any garage or shed (Minnesota Rules 1300.0120).

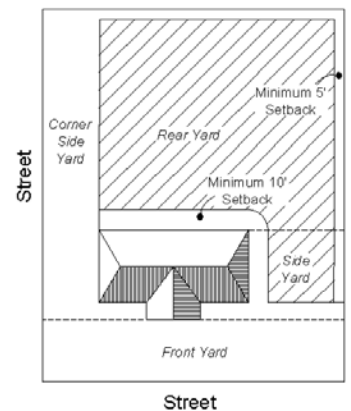
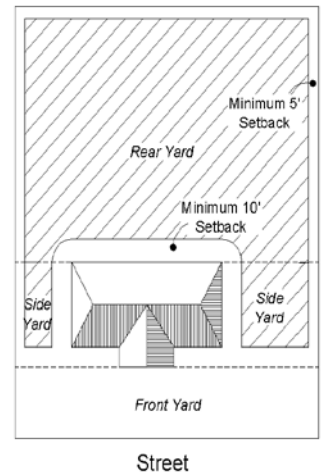
Important items to consider include:

- required inspections p. 4
- footing requirements, requirements for attached garages pp. 5-6
- header sizes p. 7
- narrow wall bracing options pp. 8-10

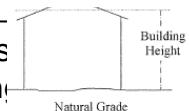
ZONING CONSIDERATIONS:

CONSULT PLANNING & ZONING DEPARTMENT FOR FURTHER REQUIREMENTS

1. An accessory structure is any subordinate building or use that is located on the same lot as the main building. Garages, sheds, and carports are common examples (Faribault Unified Development Ordinance (FUDO), Appendix B, Section 6-170).
2. Each residential property can have up to two detached accessory structures. One building is allowed to be up to 864 square feet in size, and the second is allowed to be up to 120 square feet in size (FUDO, Appendix B, Section 6-180).
3. An accessory structure must be located within a side or rear yard area and maintain the following setbacks (Section 6-180):
 - A. *Rear yard location:* At least 5 feet from side and rear property lines and 10 feet from any other structure on the property.
The shaded area in the illustration on the right shows possible locations for placement of an accessory structure within an interior (non-corner) lot.
 - B. *Side yard location:* At least 5 feet from the side property line and any other structure on the property.
The shaded area in the illustration on the right shows possible locations for placement of an accessory structure within corner lot.
4. A **hard-surfaced driveway** connection to the street/alley is required whenever an accessory structure is capable of storing a vehicle. Special setbacks apply whenever an accessory structure is accessed from an adjacent alley (Section 6-180).
5. The maximum height of any such structure is limited to 16 feet in height



This handout corresponds to the **2006 International Residential Code (IRC)** as **Minnesota Rules (MR), Chapter 1309** and applies to the construction, alteration, moving, repair and use of any structures accessory to one- and two-family dwellings as well as **garages**. Other applicable codes and ordinances of the City of Faribault also apply.



(measured from grade to a point half-way between top plate and ridge) and side wall height of 9 feet. Additional wall height can be permitted when additional distance from a property line is provided (Section 6-180).

6. Building permits are required for all accessory structures in excess of 120 square feet. However, no matter the size of the structure, materials and colors should closely match that of the principal structure. In no case is corrugated metal an acceptable building material (Section 6-180).
7. The City Council is authorized to grant a variance from the regulations when an owner has a legitimate hardship (Faribault Unified Development Ordinance, Appendix B, Section 2-420). Please contact the Planning and Zoning Division at (507) 333-0387 for more information.

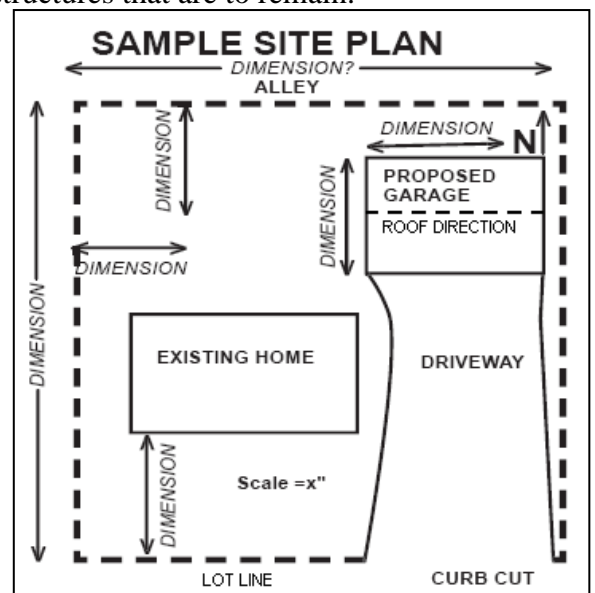
PLEASE INCLUDE THE FOLLOWING WITH YOUR PERMIT:

1. Completed **permit application form** (included on last page of this packet).
2. A signed copy of the **Residential Property Owner Waiver** (included in this packet) if the owner is applying for the permit. Please read it carefully.
3. **Two copies** of the following building plans (Minn. Rules (MR) 1300.0130):
(See below for detailed plan requirements.)
 - A. **Site plan**
 - B. **Floor plan**
 - C. **Exterior elevations**
 - D. **Cross section**
 - E. **Truss design and layout**
3. A signed **erosion control document** (included in this packet) agreeing to site erosion control requirements.

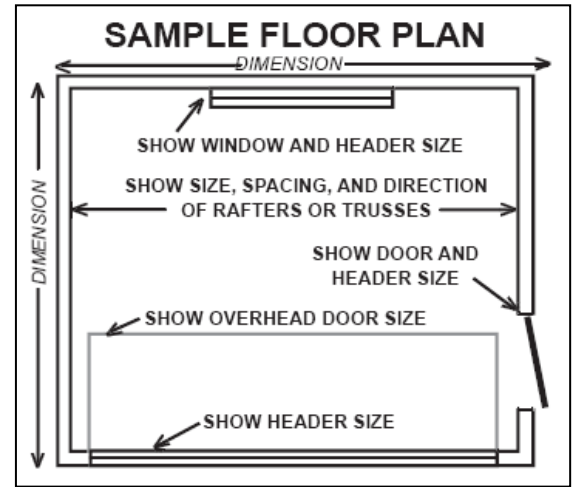
BUILDING PLANS MUST SHOW THE FOLLOWING:

1. **Site plan** showing:
 - A. Property address.
 - B. Complete property drawn to scale according to an accurate boundary line survey. (If no property corner markers are visible, a certificate of survey may be required.) Demolition: indicate structures to be demolished and the size and location of structures that are to remain.
 - C. Size and location of existing buildings and proposed construction.
 - D. Setbacks from all property lines of all existing and proposed structure(s).
 - E. Any easements on the property.
 - F. Established street grades and proposed finished grades.
 - G. Proposed site drainage, driveway size and location.
 - H. Septic system area and wells if applicable.
 - I. Designation of side street for corner lot projects.

(The Building Official may waive or modify the requirement for a site plan when warranted.)



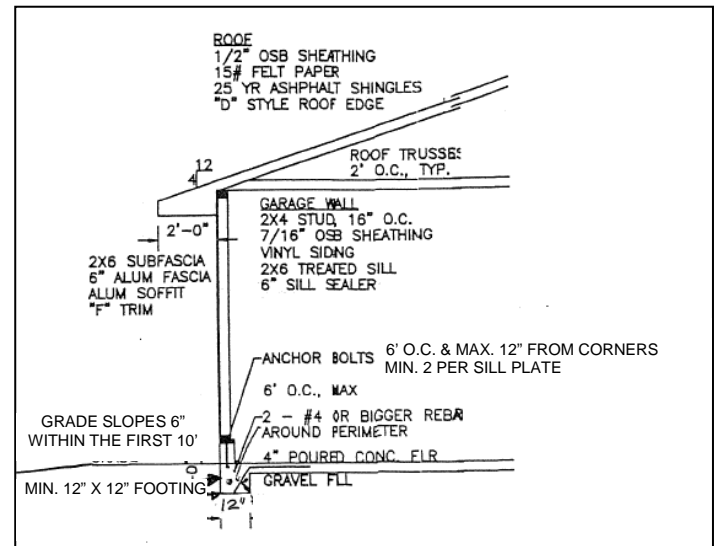
2. Complete **floor plan**:
 - A. Proposed size of garage.
 - B. Continuous and column pad footings.
 1. Width and thickness.
 2. Reinforcement size and placement.
 - C. Location and size of door and window openings.
 - D. Size of headers over all door and window openings.
 - E. Size, spacing, and direction of rafter (roof) materials.
 - F. Type (grade and species) of lumber to be used.



3. **Exterior elevations**, including:
 - A. All sides of the building.
 - B. Windows and doors.
 - C. Exterior finish.
 - D. Finish grade.

4. **Cross section** from footing to roof, including:
 - A. Footing dimensions, reinforcement and drainage
 - B. Foundation wall material, dimensions, and reinforcement.
Damp-proofing and insulation if applicable.
 - C. Grade, distance from grade to bottom of footing and distance to wood framing.
 - D. Treated sill plate type and size as well as rim joist insulation.
 - E. Anchor bolt size, type, location and spacing.
 - F. Wall framing type, height, insulation, interior and exterior wall finishing materials.
 - G. Brick veneer, air space or lath, wall ties, weep holes and flashing if applicable.
 - H. Roof/ceiling framing, attachment to bearing walls.
 - I. Eave and rake overhang dimensions and fascia material.
 - J. Roof slopes, ice dam protection, roof underlayment and covering.

5. **Roof truss designs and layout**, including:
 - A. Headers, beams and columns with their sizes.
 - B. Hangers, hold-downs and special attachments.



CALL 811 AT LEAST 2 FULL BUSINESS DAYS BEFORE YOU DIG.
www.call811.com OR www.gopherstateonecall.org

REQUIRED INSPECTIONS:

It is the responsibility of you or your contractor to schedule every required inspection with the building department (MR 1300.0210).

- 1. Footing Inspection**
Done prior to the placement of any concrete, lot lines must be marked, footings must be formed on both sides and have any required reinforcement secured in place.
- 2. Gas Piping Inspection (if applicable)**
The inspection must be made after gas piping has been installed and before any piping has been covered or concealed. The inspection must include an air pressure test at which time the fuel piping must stand a pressure of not less than 25 pounds for at least 12 hours.
- 3. Electrical Inspection: (if applicable) A SEPARATE PERMIT IS REQUIRED.**
Call Steven Kletschka, State Electrical Inspector, at (507)334-3450 between the hours of 7:00-8:30 a.m.
- 4. Framing Inspection**
To be made after the roof, interior partitions, fire blocking (for attached garages) and bracing are in place and all rough plumbing, heating and electrical work has been completed.
- 5. Gypsum Board (Sheetrock) Inspection (if applicable)**
To be made after all material is in place but before any plastering is applied or gypsum board joints and fasteners are taped and finished.
- 6. Final Inspection**
The final inspection is to be made after grading is finished and the building is completed and ready for occupancy.

PLEASE BE AWARE: THE NEW STRUCTURE (OR REMODELED AREA OF THE STRUCTURE) MAY NOT BE USED UNTIL THE FINAL INSPECTION HAS BEEN PASSED (MR 1300.0220).

FOR RADON QUESTIONS CONTACT:

Websites: www.health.state.mn.us/divs/eh/indoorair/radon/index.html
www.epa.gov/iaq/radon/pubs/index.html

Local: Rice County Community Health Services
320 Third Street NW, Suite 1, Faribault, Minnesota 55021
Phone: ... (507) 332-5922 Fax: ...(507) 332-5932

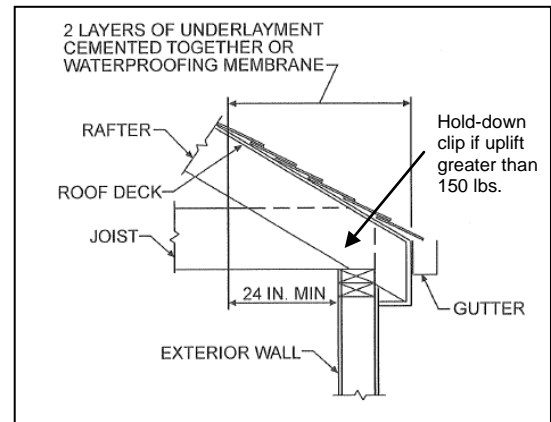
SPECIFIC CODE REQUIREMENTS:

1. **Slab-on-grade foundations** with turned-down footings cast monolithically
 - A. May be used on detached structures only. (See p. 6 for attached structure requirements.)
 - B. Must be sized to carry all design loads (R403.1).
 - C. Must extend at least 12 inches below undisturbed soil (R403.1.4).
 - D. One No. 5 bar or two No. 4 bars shall be located in the middle third of the footing depth (R403.1.3.2).
 - E. Minimum slab thickness is 3.5 inches (R506.1)
2. **Footings** must be sized according to the following (IRC R403):
 - A. Soil type.
 - B. Total loads and point loads from point load path of structure.
 - C. Number of stories supported. See table.

Minimum Footing Widths for 1,500 psf Soil		
	1 story	2 stories
Framed construction	12 inches	15 inches
8-inch masonry	16 inches	29 inches

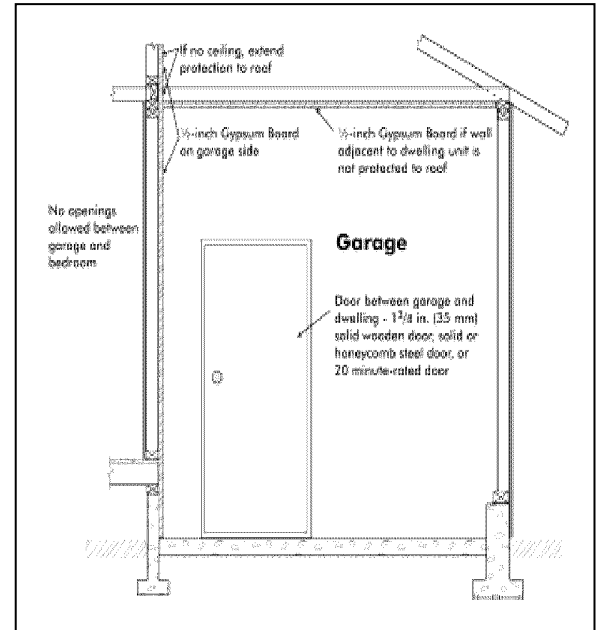
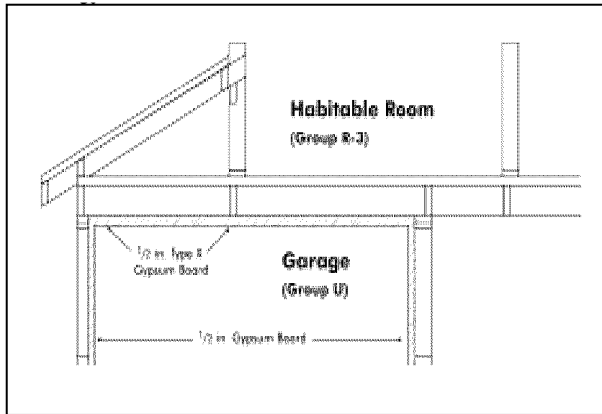
3. **Garage floor surfaces** may be concrete, asphalt, sand, gravel, crushed rock, or natural earth (MR 1309.0309).

4. **Roofs** must meet the following requirements:
 - A. Enclosed attics and enclosed rafter spaces are required to be vented (IRC R806).
 1. One square foot of ventilation for every 150 square feet of attic area.
 2. One sq. ft. of ventilation for every 300 sq. ft. of attic area if soffit vents are installed.
 - B. Ice & water protection must extend from the lowest roof edge to a point at least 24 inches inside the exterior wall line – not required on unheated detached structures (IRC R905.2.7.1).



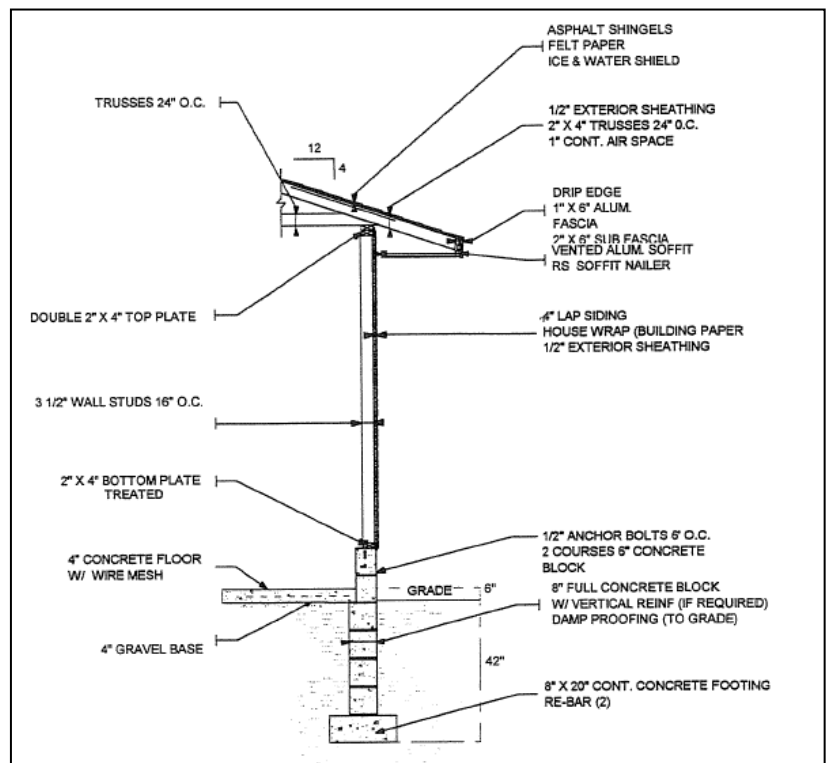
5. **Roof members** must meet span and loading requirements, including:
 - A. Ceiling joists (IRC 802.4). Live load: 20 psf with limited storage, 10 psf without storage
 - B. Rafters must be able to support a minimum ground snow load of 50 psf (IRC R802.5).
6. **Landings** are required on each side of each exterior door (IRC R311.4.3). They must be:
 - A. At least as wide as the door and extend at least 36 inches in the direction of travel.
 - B. No more than 1.5 inches lower than the top of the threshold.
 - C. Not more than 7 ¾ inches below the top of the threshold at exterior doorways, provided that the door, other than an exterior storm or screen door, does not swing over the landing.
7. A 22-inch by 30-inch **attic access** is required in attics that are at least 30 inches in height (IRC R807). If the access is part of a required fire separation (see next page), secure the access hatch in place.

8. An **attached garage** is required to be:
- A. Separated from the house.
1. A door in the common wall is required to be 20-minute fire rated or at least 1 3/8 inches thick if made of solid wood (IRC 309.1).
 2. The house and its attic shall be separated by at least 1/2-inch gypsum board applied to the garage side. Garages under habitable rooms must be separated from all habitable rooms above by min. 5/8-inch T



m board (IRC R309.2).

- B. Built on frost footings (IRC R403.1.4.1).
Minimum 42" from bottom of footing to finished grade.



9. Hardwired, interconnected **smoke detectors** with battery backup are required when adding an attached garage (MR 1309.0313):

- A. In each sleeping room.
- B. Outside of each sleeping area in the immediate vicinity of the bedrooms.

C. On each additional story.

Please note: Smoke detectors must be updated throughout the house. They must be interconnected and hardwired except where the alterations do not result in the removal of wall or ceiling finishes.

MINIMUM GARAGE DOOR HEADER SIZES*:

Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir #2 grade lumber
bearing roof and ceiling loads only (IRC Table R502.5(1)).

Garage Door Width (ft)	Roof Span					Recommended Header Sizes in Non-load Bearing (Gable) Walls
	20'-0"	24'-0"	28'-0"	32'-0"	36'-0"	
8'	(2) 2×12	(3) 2×10	(3) 2×12	(3) 2×12	(3) 2×12	(2) 2×8
9'	(3) 2×10	(3) 2×12	(3) 2×12	(4) 2×12	(4) 2×12	(2) 2×8
10'	(3) 2×12	(4) 2×12	(4) 2×12	X	X	(2) 2×8
12'	(4) 2×12	X	X	X	X	(2) 2×8
14'	X	X	X	X	X	(2) 2×10
16'	X	X	X	X	X	(2) 2×12
18'	X	X	X	X	X	(2) 2×12

Engineered lumber (1¾" wide) bearing roof and ceiling loads only.

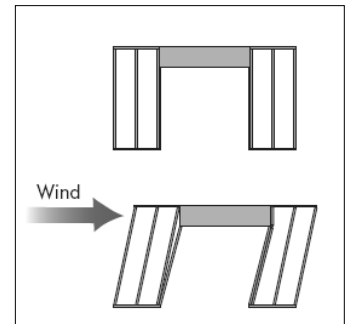
Garage Door Width (ft)	Distance from Ridge to Eave including Overhang				
	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"
8'	(1) 9¼"	(1) 9¼"	(1) 9¼"	(1) 11¼" (2) 9¼"	(1) 11¼" (2) 9¼"
9'	(1) 9½"	(1) 11¼" (2) 9¼"	(1) 11¼" (2) 9¼"	(1) 11¼" (2) 9¼"	(1) 11⅞" (2) 9¼"
10'	(1) 11¼" (2) 9¼"	(1) 11¼" (2) 9¼"	(1) 11⅞" (2) 9¼"	(1) 14" (2) 11¼"	(1) 14" (2) 11¼"
12'	(1) 14" (2) 11¼"	(1) 14" (2) 11¼"	(1) 14" (2) 11¼"	(2) 11⅞"	(2) 14"
14'	(2) 11⅞"	(2) 14" (3) 11¼"	(2) 14" (3) 11¼"	(2) 14" (3) 11⅞"	(2) 14"
16'	(2) 14" (3) 11⅞"	(2) 14"	(2) 16" (3) 14"	(2) 16" (3) 14"	(2) 16" (3) 14"
18'	(2) 16" (3) 14"	(2) 16" (3) 14"	(2) 18" (3) 16"	(2) 18" (3) 16"	(2) 18" (3) 16"

* Table based on 50 psf ground snow load and 10 psf dead load.

BRACING WALLS ADJACENT TO GARAGE DOORS (PORTAL BRACING)

During a high wind event, a garage must be able to resist lateral loads. Without sufficient bracing, the walls can rack, causing cosmetic damage, performance problems and even structural failure.

1. **All garages**—Standard bracing method (IRC R602.10.3)
 - A. Length of braced panel is 48 inches minimum.
 - B. Braced wall panels may be sheathed with wood boards, wood structural sheathing, structural fiberboard sheathing or particleboard.
 - C. No special tie-downs besides anchor bolts or straps are required.



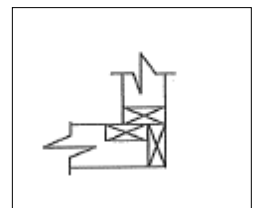
2. **Garage with continuous structural panel sheathing**
Reduced bracing method for garages (IRC R602.10.5)

- A. Length of braced panel is as follows:

8-foot wall	9-foot wall	10-foot wall*
24"	27"	30"

Note: Wall height is measured from sill plate to top plate.

- B. The structure must be completely sheathed with structural wood sheathing.
- C. Wall corner detailing shall be as shown at right.
- D. The roof covering (shingles) must not exceed a dead load of 3 psf.
- E. No special tie-downs besides anchor bolts or straps are required.



3. **Garage attached to a house** completely sheathed with structural wood sheathing (IRC Table 602.10.5)
Alternate braced wall panel—Option 1

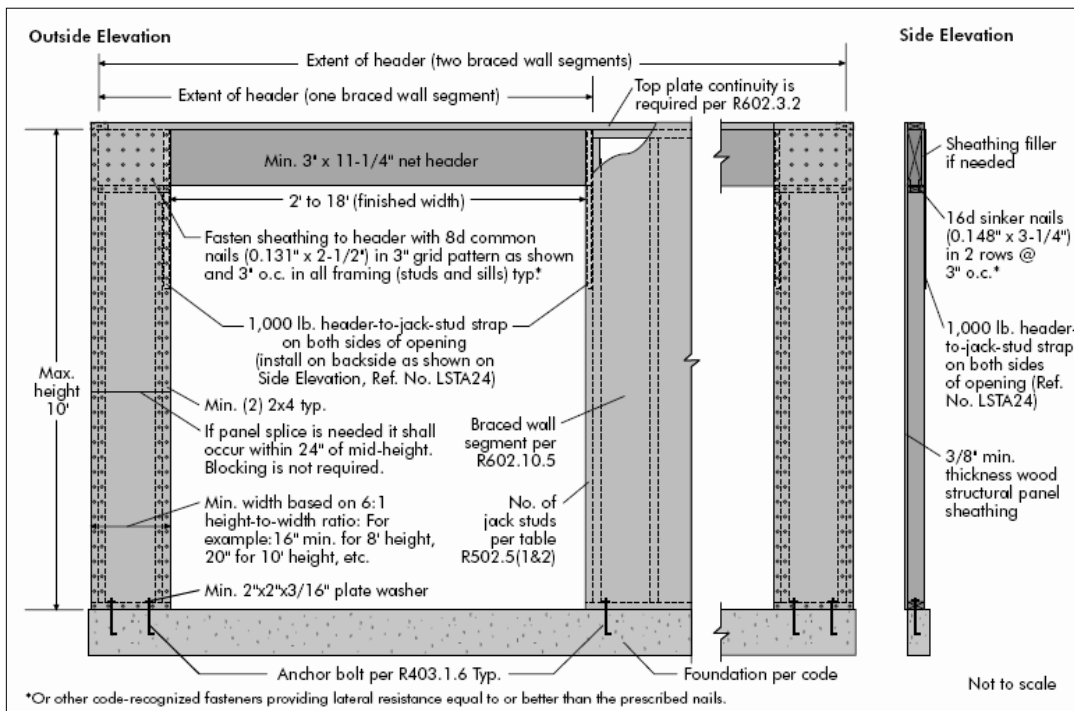
- A. Length of braced panel is as follows:

8-foot wall	9-foot wall	10-foot wall*
16"	18"	20"

Note: Height is measured from top of header to bottom of sill plate.

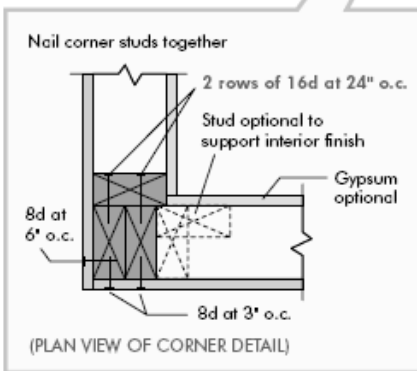
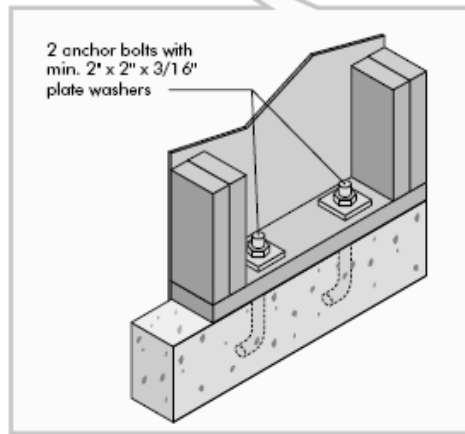
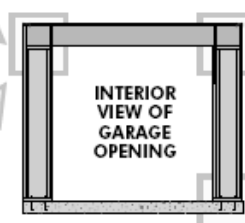
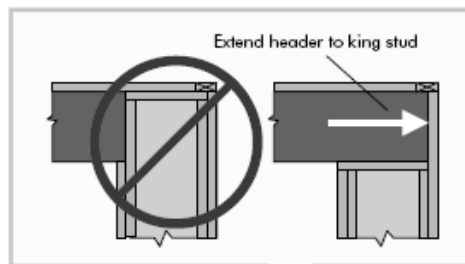
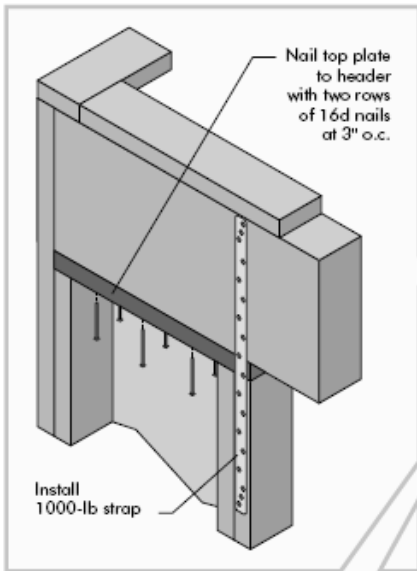
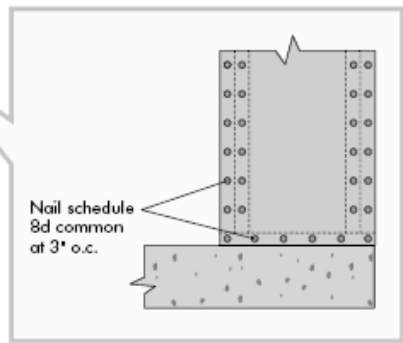
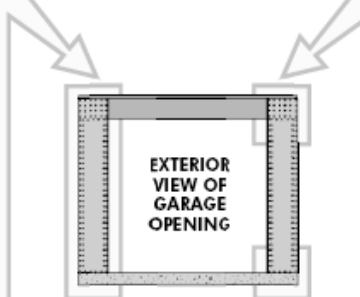
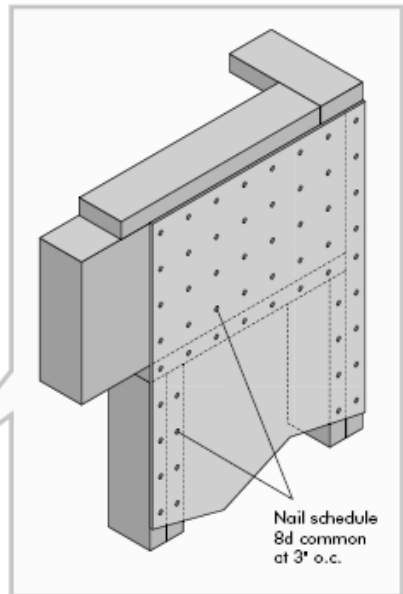
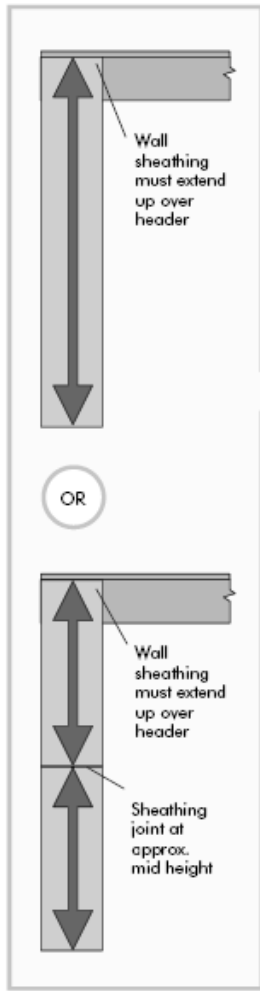
- B. The structure must be completely sheathed with structural wood sheathing.
- C. Construction details must be as shown below.

Note header extended past door opening, 3" nailing pattern and 1,000 lb interior hold-down straps.



* Contact Planning and Zoning Dept. if you plan to build sidewalls higher than 9 feet.

This page shows framing tips for
ALTERNATE BRACED WALL PANEL—OPTION 1



4. Garage that does not meet any of the above (IRC 602.10.6.2)

Alternate braced wall panel—Option 2 (This is the most difficult to construct.)

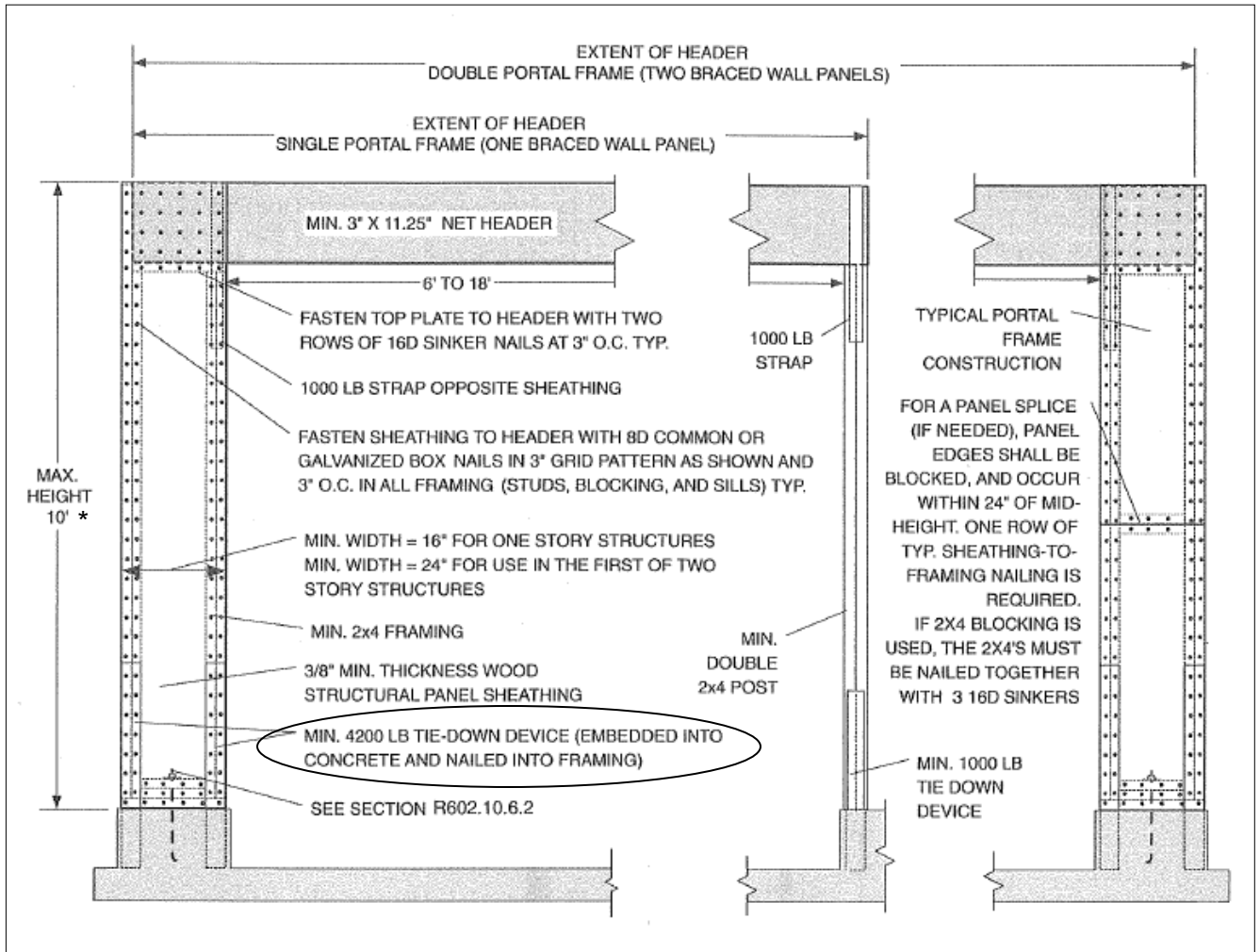
A. Length of braced panel for one story structures is as follows:

8-foot wall	9-foot wall	10-foot wall*
16"	18"	20"

Note: Height is measured from top of header to bottom of sill plate.

- B. The structure does not have to be completely sheathed with structural wood sheathing.
- C. Strap type tie-down devices with an uplift capacity of 4,200 lbs shall be embedded into the concrete and nailed to studs. Connectors which meet the required uplift capacity when installed correctly include HPAHD22 and STAD14 from USP or Simpson Strong-Tie.
- D. Construction details must be as shown below.

Note header extended past door opening, 3" nailing pattern and 1,000 lb interior hold-down straps.



* Contact Planning and Zoning Dept. if you plan to build sidewalls higher than 9 feet on a detached structure.

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

NOTE: A SILT FENCE IS REQUIRED IN THE FOLLOWING AREAS: ALL AREAS ADJOINING PUBLIC STREETS AND BACK TO PROPERTY LINES. THIS SHALL BE INSTALLED PRIOR TO EXCAVATING OR A STOP WORK ORDER WILL BE ISSUED.

All construction site activity in the City of Faribault shall include the necessary precautions to control and mitigate the erosion of soil, sediment, silt, gravel, or other material onto adjacent roadways and properties. The Property Owner and/or Permit Holder for the construction site shall be responsible for complying with the requirements set forth below, including activities by subcontractors, suppliers, or others involved with the construction project. The list represents minimum requirements for all sites – larger projects or projects located on erosion prone or erosion sensitive sites may be subject to additional measures at the direction of the City Engineer or the Building Official.

1. All materials tracked or otherwise deposited on roadways adjacent to a construction site or on roadways being used as haul routes for material being delivered to or being removed from a site shall be cleaned daily, unless more frequent cleaning is required by the City.
2. All material, which is deposited on adjacent roadways as a result of a precipitation event, shall be removed, including the cleaning of storm sewer or overland drainage ditches, within 24 hours following the event.
3. Construction sites will be required to install silt fencing in all areas that adjoin public streets and back to the property line and any property line where soil can run on an adjoining property line that is established. For more severe erosion problems, additional measures shall be taken, such as installing hay bales, constructing berms or sediment traps, or taking other actions, which reduce or eliminate erosion from the site. Should an access onto the site be desired, a rock entrance or other similar entrance will be required. The silt fence shall be dug in or installed so as to protect the adjacent properties and maintained until all lawn or landscaping is installed.
4. Should the Property Owner/Permit Holder fail to clean the material from the roadway as need/directed or fail to install the appropriate erosion control measures, the following steps may be taken:
 - a. A Stop Work Order will be issued on the project and shall remain in effect until such time as the necessary cleaning and installation of erosion control measures in complete.
 - b. The City will contract for the necessary cleaning and installation of erosion control measures and bill the Property Owner/Permit Holder for said work. A Certificate of Occupancy will not be issued until such time as payment(s) for the work has been made.
 - c. Issuance of additional permits to the Permit Holder for other construction projects within the City of Faribault will be withheld until such time as corrective action is completed.

I, _____, the Property Owner/Permit Holder for the construction activity taking
Name
place at _____ in the City of Faribault declares that I have read,
Address
understood, and will abide by the conditions listed above regarding erosion Control on this project.

Signed

Date

Telephone

Residential Property Owner Waiver

Minnesota State Contractor Licensing Requirements

I understand that the State of Minnesota requires that all residential building contractors, remodelers and roofers obtain a state license unless they qualify for a specific exemption from the licensing requirements. By signing this document, I attest to the fact that I am building or improving this property myself. I hereby claim to be exempt from the state licensing requirements because I am not in the business of building on speculation, or for resale, and that the house for which I am applying for this permit is the first residential structure I have built or improved in the past twelve (12) months. I also acknowledge that because I do not have a state license, I forfeit any mechanic's lien rights to which I may otherwise have been entitled under MN Statute §514.01.

Furthermore, I acknowledge that I may be hiring independent contractors to perform certain aspects of the construction or improvement of this property, and I understand that some of these contractors may be required to be licensed by the State of Minnesota. I understand that unlicensed residential contracting, remodeling, and/or roofing activity is a misdemeanor under Minnesota law, and that I would forfeit my rights to reimbursement from the Contractor's Recovery Fund in the event that any contractors I hire are unlicensed.

As the contractor on this project I acknowledge that I am solely and personally responsible for any violations of the MN State Building Code and/or the Unified Development Ordinance of the City of Faribault in connection with the work performed on this property.

Signature of Property Owner (Homeowner)

Property Address

Date

PLEASE RETURN THIS SIGNED WAIVER WITH THE BUILDING PERMIT APPLICATION.

To determine whether a particular contractor is required to be licensed, or to check on the licensing status of individual contractors, please call the Department of Labor and Industry toll-free at 1-800-342-5354 or go visit www.doli.state.mn.us/contractor.html and click on "License lookup."



Building Code Division

3rd Floor, 208 NW 1st Ave, Faribault, MN 55021 www.ci.faribault.mn.us

Alan Ernste,

Building Official
Schedule Inspections

(507) 333-0347

(507) 333-0387

Third Floor, 208 NW 1st Ave, Faribault, MN 55021
 Phone (507) 333-0387 Fax (507) 384-0507
www.ci.faribault.mn.us

1. Date: _____

2. Building Address: _____
 Is there a well or septic system on this property? Yes* No *If yes, Letter of Compliance required by a licensed septic installer.

Was dwelling built prior to 1978: Yes No
 **If YES, please follow lead abatement rules on Federal EPA site at:
http://cfpub.epa.gov/flpp/searchrrp_firm.htm
 State Web site: <http://www.dli.mn.gov/cclld/lead.asp>

3. Permit Applicant: Owner Designer Contractor

4. Lot # _____ Block # _____ Addition: _____

5. Owner's Name: _____
 Address: _____
 Telephone # _____

6. Contractor's Name: _____
 Address: _____
 Telephone # _____ Cell Phone # _____
 State License Number: _____ Exp: _____

Architect's Name: _____
 Address: _____
 Telephone # _____ State License # _____

7. Estimated Value of Construction (labor + material): \$ _____

8. Description of Project including Sq Ft/Dimensions: _____

I hereby certify that I have completed and examined this application and certify that the information contained therein is correct. If a permit is issued, I agree all work will be done in conformance with all applicable ordinances and codes of the City of Faribault and laws of the State of Minnesota.

Printed Name: _____

Signature: _____

Permit # _____

Permit Types

Building Septic System

Property Types

<input type="checkbox"/> Commercial (COMM)	<input type="checkbox"/> Modular (MODU)
<input type="checkbox"/> Condominium (COND)	<input type="checkbox"/> Multi-Family (MULT)
<input type="checkbox"/> Duplex (DPLX)	<input type="checkbox"/> Public Facilities (PUBL)
<input type="checkbox"/> Industrial (INDU)	<input type="checkbox"/> Residential (RESI)
<input type="checkbox"/> Institutional (INST)	<input type="checkbox"/> Townhomes (TOWN)

Construction Types

<input type="checkbox"/> Accessory Building (ABLG)	<input type="checkbox"/> Airplane Hangar (APHG)
<input type="checkbox"/> Addition (ADDI)	<input type="checkbox"/> Cold Storage Building (CLDS)
<input type="checkbox"/> Deck (DECK)	<input type="checkbox"/> Demolition (DEMO)
<input type="checkbox"/> Garage Attached (GARA)	<input type="checkbox"/> Egress Window (EGRS)
<input type="checkbox"/> Garage Detached (GARD)	<input type="checkbox"/> Foundation/Sitework (FOUN)
<input type="checkbox"/> New Construction (NEWC)	<input type="checkbox"/> Plan Review (PLRV)
<input type="checkbox"/> Porch 3 Season (PORC)	<input type="checkbox"/> Swimming Pool (POOL)
<input type="checkbox"/> Remodel (REMD)	Septic Systems:
<input type="checkbox"/> Window Replacement (WIND)	<input type="checkbox"/> Install Alt. System (INSA)
	<input type="checkbox"/> Install Mound (INSM)
	<input type="checkbox"/> Install Trench (INST)

Valuation \$ _____	<input type="checkbox"/> Surcharge
Occupancy Group _____	<input type="checkbox"/> Permit
Bldg. Const. Type _____	<input type="checkbox"/> Plan Check Fees
Design Occupant Load _____	<input type="checkbox"/> WAC # of Units _____
Plan # _____ Date _____	<input type="checkbox"/> SAC # of Units _____
	<input type="checkbox"/> Parkland
Bldg. Square Feet _____	<input type="checkbox"/> Water Meter _____
Number of Stories _____	<input type="checkbox"/> Escrow
Number of Units _____	<input type="checkbox"/> Grading Permit Required
	<input type="checkbox"/> Yes <input type="checkbox"/> No
Building Sprinkled... <input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> ROW Permit Required
	<input type="checkbox"/> Yes <input type="checkbox"/> No

Applicable Edition of Code _____

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